

# HARTBEESSPOORT



## ARCHITECTURAL DESIGN MANUAL

La Camargue Property Developers (Pty) Ltd

2020/02/10

# ARCHITECTURAL DESIGN MANUAL – LA CAMARGUE

<u>Table of Contents:</u>	<u>Page:</u>
1. Introduction	2
2. Architectural Design Manual – checklist	2
3. The Site	2
4. Unique Natural Surroundings	2
5. Architectural Character	3
6. Schedule of Rights	4
7. Rules	5
8. Plan approval and submissions	6
9. Building form	8
10. Architectural elements	8
11. Height restriction	9
12. Roofs	9
13. Walls	10
14. Driveways	10
15. Verandahs, pergolas and covered terraces	11
16. Balconies and handrails	11
17. Retaining walls	11
18. Windows and doors	11
19. Boundary Walls and Fences	12
20. General	13
21. Landscaping	14
22. Disclaimer	15
23. Conditions of title	15

# ARCHITECTURAL DESIGN MANUAL – LA CAMARGUE

## 1. INTRODUCTION

These guidelines have been compiled to protect and maintain this unique development and to encourage and achieve an Architectural coherence to promote a secure and healthy lifestyle.

The Estate includes a gatehouse with 24-hour security and perimeter fencing which is electrified. The stream running through the site will be dammed and walking trails meander through the veld. A small clubhouse with recreational amenities is also to be built overlooking the lakes.

## 2. ARCHITECTURAL DESIGN MANUAL – CHECKLIST

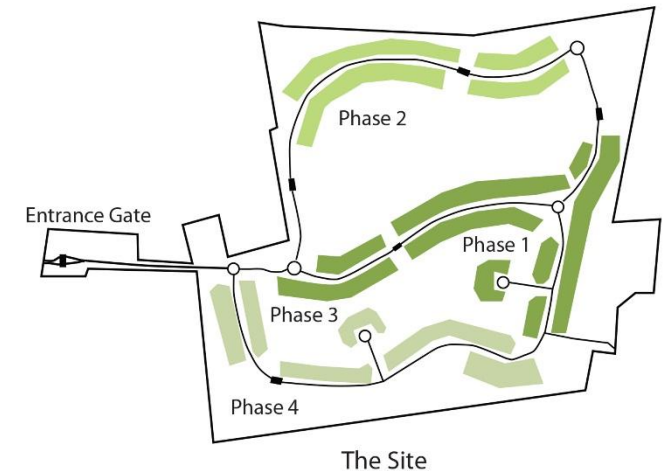
This document should be read together with Annexure 1 – Architectural Design Examples and Annexure 2 - Architectural Design Manual Checklist, which contains a summary of the Aesthetic Guideline's Architectural items.

## 3. THE SITE

The site is situated on a portion of the farm known as portion 62 (a portion of portion 7) of the Farm Rietfontein No. 485 Division JQ, which fall under the Madibeng Local Municipality.

The site measures some 92 hectares and consists of 207 single residential stands and 6 higher density stands and 1 commercial rights stand at the entrance gate. The higher density stands permit 140 units with 20 units per hectare. The density of the single units are only 25% of the total site area leaving large tracts of land undisturbed, which is left as indigenous open space, complete with savannah grasslands with existing indigenous trees.

## 4. UNIQUE NATURAL SURROUNDINGS



Set in semi-bushveld and grasslands, surrounded by undulating mountains this site forms a unique country estate for those wishing to escape the confines of suburban space. Falling gently northwards towards superb views of the mountains in the distance.

The stream flowing east to west is to be shaped into lakes and wetlands to add interest and to attract the abundance of bird life in the area. The waterline will be specifically shaped to allow birds to wade and fish to spawn. Natural indigenous trees dominate and have been carefully considered in the overall plan.

## 5. ARCHITECTURAL CHARACTER

This beautiful setting of the houses within their natural surroundings calls for an architecture where outdoor living is encouraged, and the views of the natural surroundings are pulled into the homes. The design of the houses in the estate reflect the unique climate and lifestyle we experience in South Africa.

For this reason the Developer and Architect have selected a South African Vernacular Farm & Country Style as the Architectural style for the estate. The South African Vernacular Farm & Country Style is characterized by simple rectangular forms with pitched roof shapes and smaller lean-to roofs over side spaces and patios. The gables on the sides of the houses formalize the Farm Style structures, and lean-to roofs to the front invites the inhabitants to enjoy the late afternoon views over the countryside. Open roof spaces inside creates large open volumes for cooling the homes. The focus is on the use of natural materials for the house to fit well into its natural surroundings. Outdoor living is encouraged by opening the house to celebrate the views of the surroundings.

Homeowners will have the freedom to create unequalled and diverse homes, which will be in keeping with the proposed theme. The use of various raw materials are encouraged, with a focus on stone, brick, wood and glass. The design of the house must take into account its immediate surroundings, being sensitive to the views and privacy of adjoining stands.



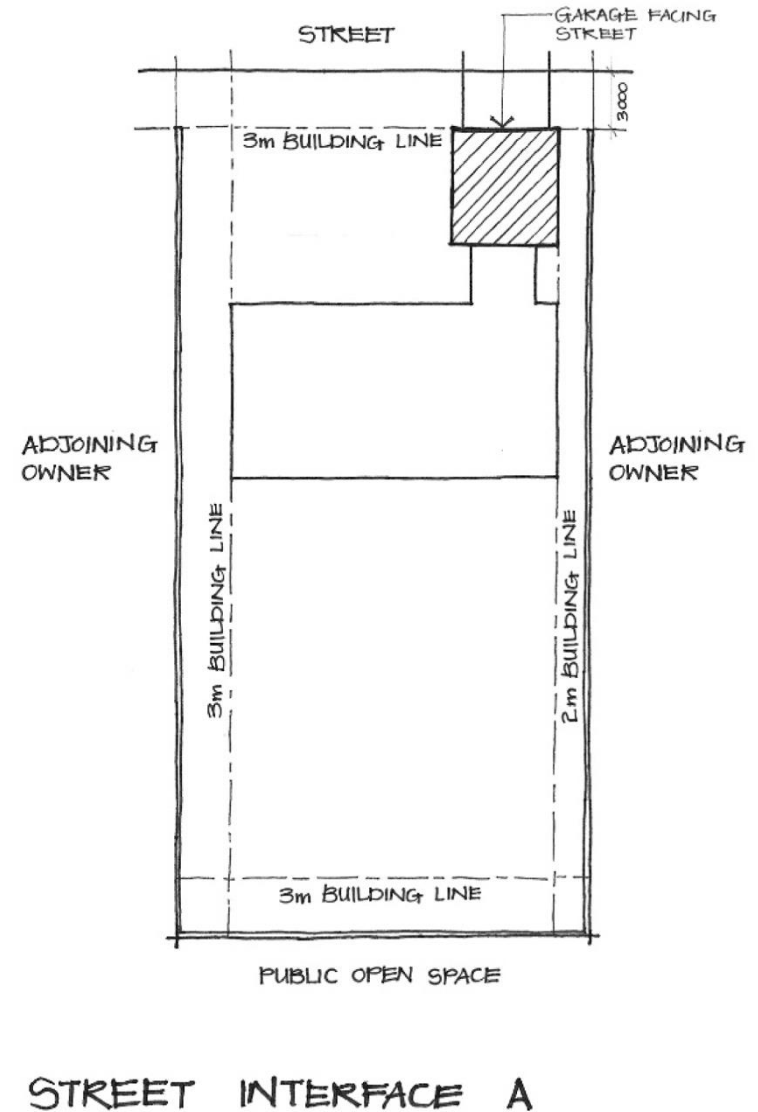
Emphasis should be placed on excellent proportions, scale and the inter-relationship between architectural and structural elements to the landscape and context.

The architecture should be a reflection of the character of the Estate:

1. Reflect luxury living
2. Embrace the natural surroundings, bringing the views into the homes
3. Encourage outdoor living
4. Encourage community living
5. Create an eco-friendly estate

## 6. SCHEDULE OF RIGHTS

	Residential 1:	Residential 2:
<b>Use Zone:</b>	All Single	Higher density residential
<b>Density:</b>	1 Unit per erf	20 Units per hectare
<b>Height Zone:</b>	2 Storeys	2 Storeys
<b>Coverage:</b>	60 % for single storey	90% for single storey
	40 % for double storey	60% for double storey
<b>F.A.R:</b>	0.6	0.9
	First floor 70% of built ground floor area	
<b>Rear boundary fronting public open space:</b>	5.0m	3.0m
<b>Rear boundary fronting adjoining owner:</b>	3.0m	3.0m
<b>Minimum side space on any boundary:</b>	Aggregate of 5m with a min of 2m on one side	1.5m
<b>Where garage doors do not face the street:</b>	1.5m(See street interface B)	1.5m
<b>Where garage doors face the street:</b>	3.0m(See street interface A)	3.0m



## 7. RULES

### 7.1 Legal Status

The registered Owner is obliged to comply with the rules, and any interpretation thereof made by the Trustees in terms of the H.O.A. constitution.

### 7.2 Owner's Responsibility

The registered Owner of every property is responsible for ensuring that contractors, sub-contractors and delivery persons also comply with the rules contained in the Design Manual. The contractor may only build according to the approved plan. Any revisions or deviations must be submitted to the Homeowner's Aesthetics Committee for approval prior to work being carried out.

### 7.3 Amendments

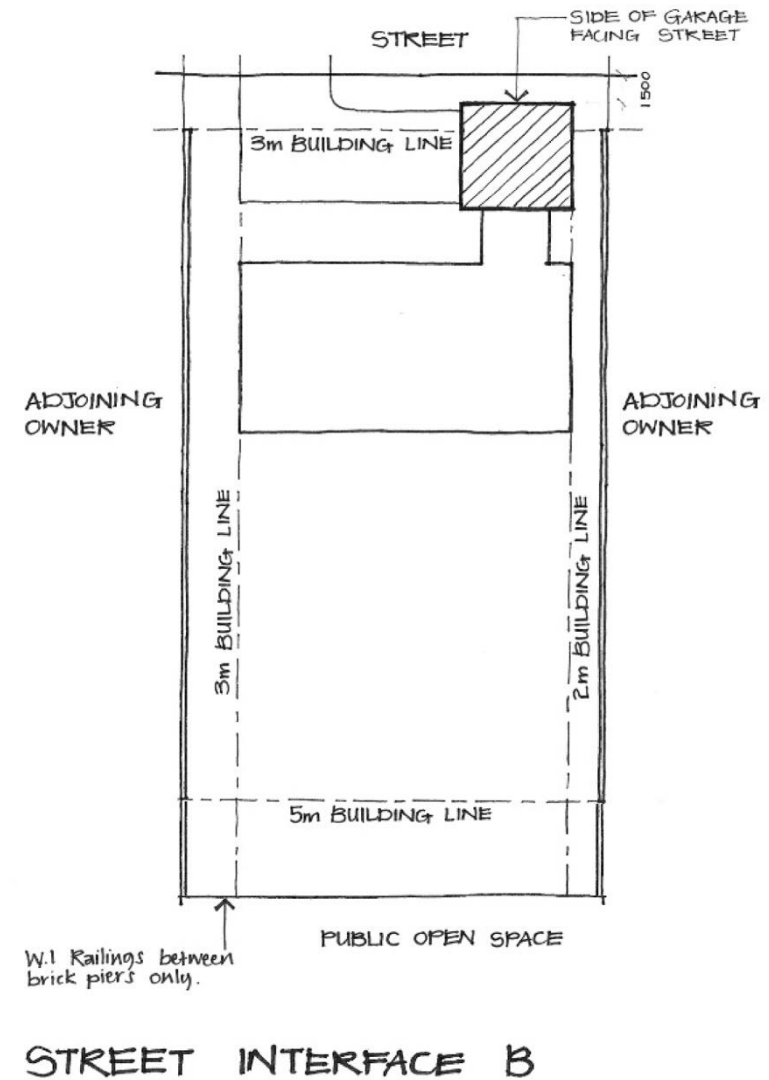
The Project Architect and Homeowner's Aesthetics Committee are entitled at any time to amend, add to or delete from these rules in whatever manner they may deem necessary in order to protect the interest of the HOA and its members. Members of the HOA will be notified of such amendments which shall immediately become binding on all Owners.

### 7.4 Dispute

In the event that any of the rules are unclear or inconclusive the decision of the project Architect in his sole discretion will be final and binding on all parties.

### 7.5 Builders' Code of Conduct

Each Owner, is obliged to ensure that his building contractor is aware of the rules regarding the Builders' Code of Conduct (See Annexure 3) and that he/she agrees to comply with them. The Builders' Code of Conduct Agreement must be signed prior to approval of drawings, commencement of any works on the site and payment of the footway deposit.



## **8. PLAN APPROVAL AND SUBMISSIONS**

In order to enhance the property values within the estate by preservation of the Architectural conformity, an Aesthetics Committee has been established for the approval of the building plans. All plans whether for initial construction or later improvements must be submitted to the Aesthetics Committee for their approval prior to submission to the local authorities. Submissions are to be made in two stages. Owners and their professional team are to take cognizance of new legislation relating to Energy usage in buildings as per SANS 10400-XA and SANS 204. The local authority will only approve plans which conform to the new legislation.

### **8.1 PROFESSIONAL ARCHITECTS**

When designing their houses or doing alterations and additions, homeowners are required to make use of a registered, practicing Professional Architect with University Degree (Pr Arch).

In terms of the SANS 10400 – Section A19, homeowners are required to employ the architect for the full architectural service. Alternatively the legislation allows for a registered project manager to be retained for site supervision. Appointing a registered professional architect and / or project manager would ensure a professional product that will ensure a high standard on the Estate.

### **8.2 STAGE 1 SUBMISSION – Sketch Plans**

Drawings that explain the broad principles of the design are required including an indication of the elevational treatment, all external finishes to be used and equipment to be installed. A marked up check list must also be submitted.

**8.3 SUBMISSION COSTS** - The fee for approval of plans to the Aesthetics Committee would be R5, 000 (five thousand rand only) per full submission, of which R2, 500 (two thousand five hundred rand only) is payable at the submission of Stage 1 and R2, 500 (two thousand five hundred rand only) payable at the submission of Stage 2. A re-submission fee of R1, 000 (one thousand rand only) is applicable if there is substantial changes to a plan that has already been submitted.

Refer to Annexure 2

Page 1 and Page 3

#### 8.4 STAGE 2 SUBMISSION – Working Drawings

Dimensioned plans of all floors, section and elevations are required including a Site Plan, schedule of areas and details of the boundary wall treatment. All external finishes to be shown on drawings and floor levels must relate back to the datum point. It is recommended that each Owner obtain a datum point pertinent to each site, and in close proximity to their site, to be obtained from Anthony Calogero of Calogero Surveyors, Hartbeespoort Tel (082) 857 9920.

#### 8.5 INSPECTIONS

The H.O.A. will carry out periodic site inspections to monitor construction progress and when the house has been completed a copy of the Contract Completion Certificate issued by the Local Authorities must be submitted to the Project Architect and Homeowner's Aesthetics Committee.

Refer to Annexure 2

Page 1 and Page 4



# Architectural character

## 9. BUILDING FORM

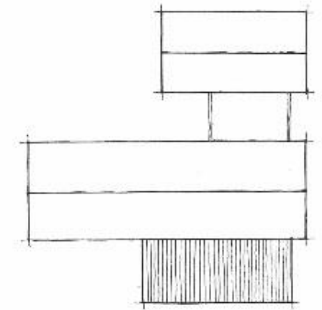
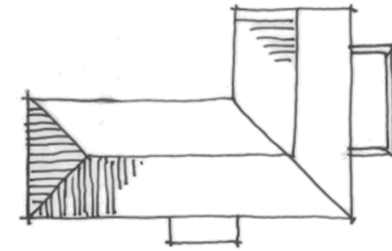
- 9.1 House plans are to be composed of rectangular and square forms, placed parallel to one another (no splays/angles) the scale of which must result in elegant proportions.
- 9.2 Large monolithic or curved structures will not be permitted.
- 9.3 The minimum size of any dwelling unit on a Res 2 stand is 180 m<sup>2</sup> (one hundred and eighty square meters).
- 9.4 No flying buttresses, beams or large volume porte-cochère will be permitted.
- 9.5 Only one dwelling per stand will be permitted.
- 9.6 Carport roofs are to match the roof of the main building.
- 9.7 Buildings must be sited parallel to at least one boundary, preferably the street frontage.
- 9.8 Buildings must take contours into account to avoid large cut and fill bulk earthworks.
- 9.9 Please note clause 11 relating to height restrictions.

## 10. ARCHITECTURAL ELEMENTS

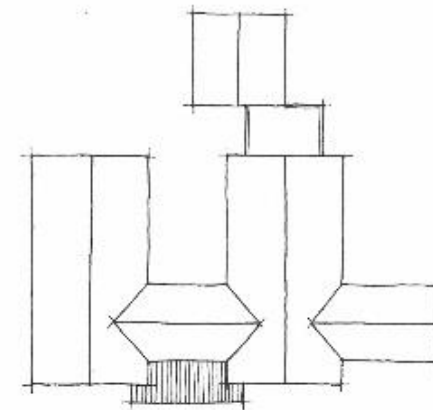
We envisage simple, honest structures. A traditional or contemporary interpretation of the guidelines is acceptable, with the emphasis on simplicity, scale, proportion and refined detail.

- 10.1 The Aesthetic guidelines
- 10.2 Vertical proportioned windows
- 10.3 Pitched roofs
- 10.4 Extensive use of verandas
- 10.5 Extensive use of pergolas
- 10.6 Simple vertical slatted timber doors
- 10.7 Natural timber shutters or painted steel shutters
- 10.8 Red toned flush jointed facebrick
- 10.9 Natural stone, dry pack recommended
- 10.10 The use of shiplap cladding encouraged

## Examples of building form



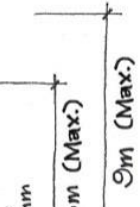
FORM 1



DOUBLE STOREY

SINGLE STOREY

NGL



## 11. HEIGHT RESRICTION

The height of any part of the structure of a single storey dwelling may not exceed 6meters above natural ground level when measured vertically below that point. Similarly the height limit of a double storey dwelling will be 9meters. No point of any ground floor slab may be more than 500mm above natural ground level when measured vertically below that point.

## 12. ROOFS

12.1 Much attention has been placed on the roof construction as the roof element plays a dominant role in expressing the Architectural language and in binding the individual units together. Roofs should be broken down with a series of at least 2 minor forms, such as monopitch or flat roofs to create a varied roof line.

12.2 Roof coverings are limited to the following:-

12.2.1 "Briti" Cordova

12.2.2 "Mazista" Coppa/Semi-Circular (aged or plain)

12.2.3 "Mazista" Portuguese (aged or plain)

12.2.4 "Mazista" Royal Coppa/Royal Portuguese (aged or plain)

12.2.5 "Marley" Monarch-Antique terracotta only

12.2.6 "LAFARGE" Cupola "Farmhouse Terracotta"

12.2.7 "LAFARGE" Cupola "Farmhouse Red"

12.2.8 "Mazista" Vineyard

12.2.9 "Marley" Modern / Ludlow concrete roof tiles, Slate color, or similar approved.

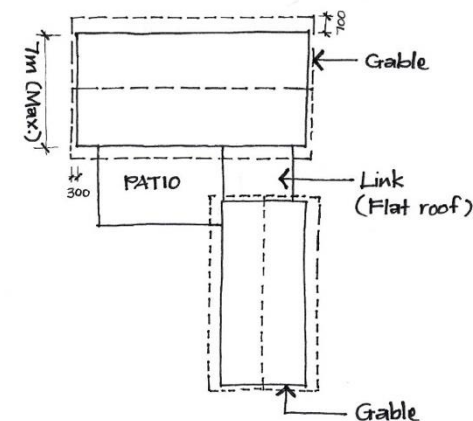
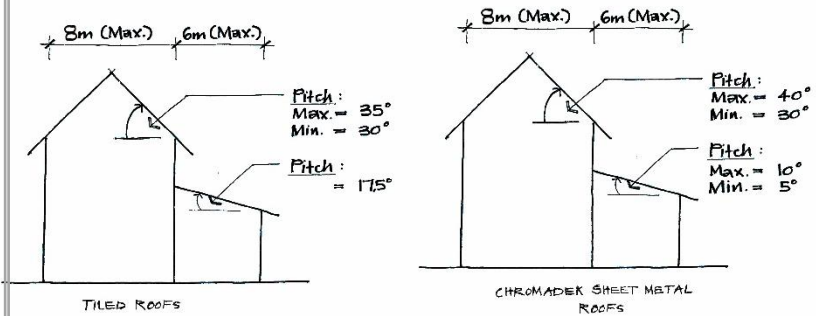
12.3 Chromadek metal roof sheeting – (Dove Grey or Dark Dolphin Colours)

12.4 Main roofs are to be double pitched with gable or hipped ends.

12.5 Ornate mouldings are not permitted.

12.6 A minimum of 70% of the roofed area must be double pitched with a minimum pitch of 30° for tiled and chromadek sheet metal roofs and a maximum pitch of 35° for tiled roofs and 40° for chromadek sheet metal roofs.

12.8 Concrete flat roofs or lean-to monopitch roofs only as minor elements are permitted providing they do not exceed 30% of the total roof area. Lean-to-roof minimum pitch is 17.5° for tiled roofs and 5° for chromadek sheet metal roofs. Maximum pitch is 17.5° for tiled roofs and 10° for chromadek sheet Metal roofs.



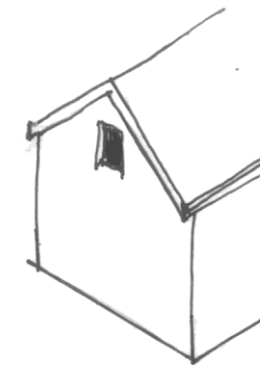
- 12.9 Clipped or overhanging eaves are permitted.
- 12.10 Finishing coats to roof waterproof membranes are to be earthtone (no primary colours, silver, aluminium or white) where visible to adjacent Owners. However stone chips or pebbles are preferred.
- 12.11 Exposed gutters and downpipes are permitted provided they are functional. Gutters and downpipes must be installed.
- 12.12 A house may only have one roof finish. Either tiles or chromadek sheet metal, not both.

### 13. WALLS

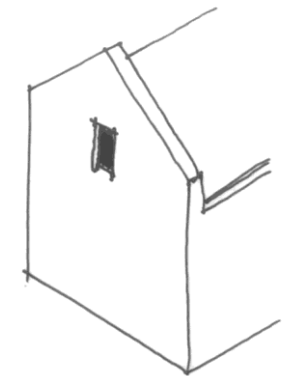
- 13.1 Uninterrupted blank lengths (i.e. no window or door openings) exceeding 4 metres on street elevations or public open spaces are not permitted.
- 13.2 Finishes can be any of the following:
  - 13.3.1 Bagged brickwork for painting.
  - 13.3.2 Plaster and painted masonry.
  - 13.3.3 Stucco finishes are encouraged.
- 13.4 Artificial stone cladding will not be permitted, however natural stone is encouraged for features such as chimneys, retaining walls, garden walls and plinths.
- 13.5 A maximum of 40% cladding would be allowed, this includes natural stone or facebrick. Facebrick work should be flush jointed. Facebrick selection is limited to red-tone facebricks, for example Corobrick Country Classic, Roan Satin or similar.
- 13.6 Colours must be earth tones. No primary colours will be permitted. Refer to the attached color chart for examples of wall colors.

### 14. DRIVEWAYS

Driveways and pathways should be limited as far as possible. The maximum width at any point must not exceed 6m otherwise they must be divided by garden or planter boxes. Only cobblestones and brick paving approved by the Project Architect and Homeowner's Aesthetics Committee may be used. No concrete interlocking blocks permitted. Wood floated concrete in panels and framed with brick paved borders will also be considered.

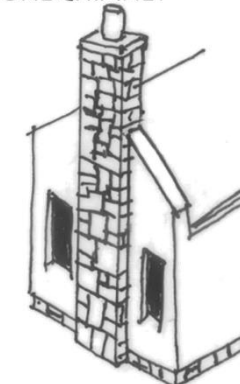


VERGE GABLE



PARAPET GABLE

STONE CHIMNEY



STONE PLINTH

## 15. VERANDAHS, PERGOLAS AND COVERED TERRACES

- 15.1 Terraces and pergolas are encouraged.
- 15.2 Roof supports can be masonry, timber or metal posts with simple latticework.
- 15.3 Exposed rafters and purlins are recommended.
- 15.4 Lightweight coverings such as bamboo or reeds are permitted but not shade cloth, but only if the front thereof is concealed in a steel framework.
- 15.5 Timber decking is highly recommended.
- 15.6 Concrete roofs are permitted providing they do not exceed 30% of the total roofed area.
- 15.7 Metal lean-to roofs with translucent sheeting will not be permitted.

## 16. BALCONIES AND HANDRAILS

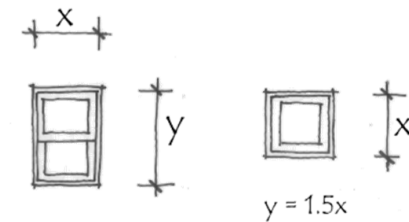
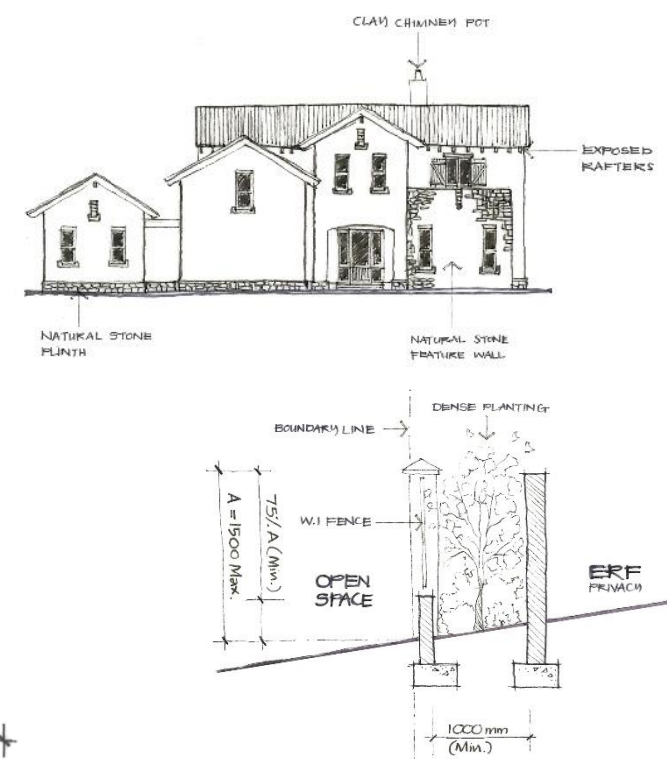
- 16.1 Concrete balconies with plain handrails must be used
- 16.2 Plain painted steel handrail is acceptable
- 16.3 Plain stainless steel handrail is acceptable.

## 17. RETAINING WALLS

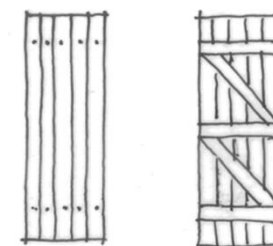
- 17.1 Any garden wall designed to retain an embankment may not exceed 1m in height without stepping back.
- 17.2 Loffelstein is not permitted.

## 18. WINDOWS AND DOORS

- 18.1 Windows and doors are encouraged to be incorporated as individual openings in dominant walls or in series to form large openings. (Large unframed glass walls are not permitted).
- 18.2 External burglar bars are not permitted, bars must be placed internally and where possible line up with the window mullions.
- 18.3 Window treatments such as shutters, deep reveals, recesses and moulded surrounds are to be encouraged. Shutters may be stained timber or painted in colours as per



RECOMMENDED WINDOW PROPORTIONS



RECOMMENDED SHUTTER STYLES

recommended natural colour scheme, to blend in with the natural environment.

- 18.4 No “expanding” type security doors will be permitted externally.
- 18.5 Windows should have a vertical proportion in the ratio of 1.5x the width as a minimum, otherwise square windows may be used. Long flat horizontal windows may be used.

## 19. BOUNDARY WALLS AND FENCES

Owners are responsible for plastering both sides of the wall. No unplastered or unpainted walls are permitted. Where adjoining boundary walls occur the onus to share the costs thereof rests with the Owner. Should building of adjacent erf not occur at the same time the onus will be on the Owner to complete both sides of the wall with plaster and paint.

### 19.1 STREET BOUNDARY

Brick walls are restricted to a maximum height of 1,8m for 50% of the length of these boundaries and to a maximum uninterrupted length of 7,0m. Articulation to have a minimum recess of 400mm.

### 19.2 SIDE BOUNDARY

Brick walls are restricted to a maximum height of 2,1m and may not fall within the building lines facing street. Plain Steel fencing will be for the remaining length of the wall.

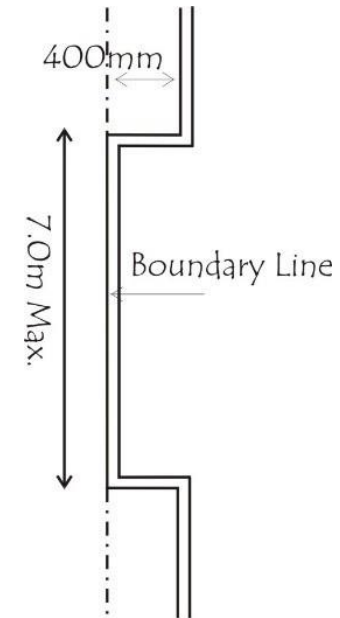
### 19.3 BACK BOUNDARY

Brick walls may be solid for the full length to a maximum height of 2,1m, except where boundary abuts public open space.

### 19.4 BOUNDARIES FACING OPEN SPACE

These are limited to two alternatives as follows:-

19.4.1 Plain steel fencing fixed between brick piers spaced not more than 3,0m apart. Fence to be a maximum of 1,5m high, stepped and not sloped. Brick piers to be a minimum of 350mm x 350mm plastered and painted. A plastered brick plinth below



the fence will be permitted providing it does not exceed 25% of the total height of the fence. Owners are obliged to ensure that perimeter fencing required to contain pets are designed to comply with these guidelines. No pets permitted to roam freely on site. All pets will have to be contained on leads.

19.4.2 Alternatively, either 'Clearview' type fence or similar supported by intermediate posts at centers, as recommended by manufacturer. Colour of the fence is to be 'dark black', 'dark green' or 'charcoal'. The full length of the fence to be planted with an evergreen hedge to conceal the same.

#### 19.5 PRIVACY WALL

These walls will be permitted providing that they do not exceed 25% of the length of the fence and that they are constructed not closer than 1 meter from the boundary and maximum 1,5metres high. The space between the boundary and the privacy wall is to be heavily planted.

#### 19.6 GENERAL

19.6.1 No Vibracrete or split pole fencing will be permitted.

19.6.2 Masonry and plastered piers with plain steel fencing is encouraged.

19.6.3 No metal palisade fencing will be allowed.

19.6.4 Hedges and planting are encouraged as screening elements.

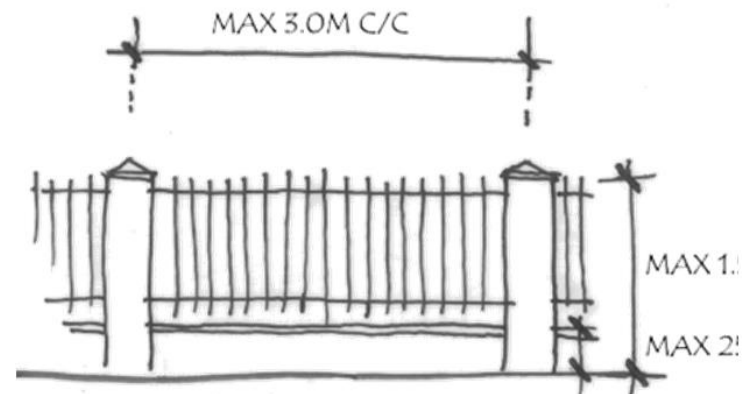
### 20. GENERAL

20.1 Wash-lines, kitchen yards, open storage and refuse areas should be concealed.

20.2 All plumbing soil pipes/waste pipes are to be built into walls and hidden from view.

20.3 Aerials and satellite dishes must be concealed from view from the street. The location of which must be indicated on Stage 1 submission drawings and will be subject to the approval of the Aesthetics Committee

20.4 All geysers, air conditioning units and the condensers, including drain pipes are to be screened and totally concealed. The location of which is required on Stage 2 drawings for final approval.



- 20.5 Solar heating panels (for heating purposes) and solar panels (for electricity generation) will be allowed on roofs, but the geyser feeding the solar panels should not be visible from anywhere outside the house. The geyser should be installed in a well concealed position. Solar heating panels (for heating purposes) and solar panels (for electricity generation) should be manufactured from plain black or dark grey material. No shining and bright fittings and fixtures would be allowed, and no signage of the solar panel manufacturer. The solar panels on the roof should be unobtrusive to the Roof design. Solar Heating panels for pools are to be screened so as not to be visible from the street. The location of Solar Heating panels, the geysers associated thereto and/or Heat Exchangers are to be indicated on Stage 1 and 2 submission drawings. Therefor in order to accommodate solar panels and/or heat pumps Architects should consider inclusion of and/or increase the areas of flat roof space to conceal any proposed heat pumps, satellite DSTV dishes, solar panels and condensing units for AC.
- 20.6 Rain water pipes discharging rainwater from flat roofs to be concealed within walls or columns (not boxed).
- 20.7 All the requirements of the National Building Regulations including SANS 10400-XA and SANS 204 as well as the statutory local Authority should be adhered to.

## **21. LANDSCAPING**

- 21.1 Due to the existing nature of the site and the abundance of natural flora only indigenous plant species will be permitted outside the building platform.
- 21.2 Within the building platform some exotic plants will be permitted as ornamentals only.
- 21.3 Existing vegetation is protected and any removal or pruning within the erven or on the pavement will require the approval of the HOA.
- 21.4 The use of heavy earthmoving machinery is prohibited. Stormwater runoff must be controlled to prevent soil erosion.
- 21.5 Refer to the Landscape Design Guidelines' list of desired trees and shrubs as well as prohibited species.
- 21.6 A landscaping plan needs to be submitted for approval by the Aesthetics Committee.

## **22. DISCLAIMER**

The Aesthetics Committee accepts no liability through the approval of drawings. The approval relates purely to ensuring that the building comply from an aesthetic point of view. If there is any contraventions, the Aesthetic committee reserves the right to instruct the homeowner to rectify such contravention at the homeowners cost and without recourse.

## **23. CONDITIONS OF TITLE**

All erven are subject to a servitude, 2m (two metres) wide, in favour of the local authority, for sewerage and other municipal purposes, along any two boundaries other than a street boundary and in the case of a panhandle erf an additional servitude for municipal purposes 2m (two metres) wide across the access portion of the erf, if and when required by the local authority. Provided that the local authority may dispense with any such servitude. No building or other structure shall be erected with the aforesaid servitude area and no large-rooted trees shall be planted with the area of such servitude of within 2m thereof.

The local authority shall be entitled to deposit temporarily on the land adjoining the aforesaid servitude such materials as may be excavated by it during the course if the construction, maintenance or removal of such sewerage mains and other works as it in its discretion may deem necessary and shall further be entitled to reasonable access to the said land for the aforesaid purpose subject to any damage done during the process of the construction, maintenance or removal of such sewerage mains and other works being made good by the local authority.

The local authority shall be entitled to deposit temporarily on the land adjoining the aforesaid servitude such materials as may be excavated by it during the course if the construction, maintenance or removal of such sewerage mains and other works as it in its discretion may deem necessary and shall further be entitled to reasonable access to the said land for the aforesaid purpose subject to any damage done during the process of the construction, maintenance or removal of such sewerage mains and other works being made good by the local authority.



The Owner acknowledges that he/she is aware of and understands the restrictions and conditions as set out above and agrees to comply with them.

\_\_\_\_\_  
OWNER (FULL NAME AND SIGNATURE) :

\_\_\_\_\_  
DATE :

\_\_\_\_\_  
ARCHITECT (FULL NAME AND SIGNATURE) :

\_\_\_\_\_  
DATE :